

From: [Jim Sammet](#)
To: [Rachael Stevie \(CD\)](#)
Cc: [CDS User](#)
Subject: RU 22-00002: East Peak Reasonable Use Variance
Date: Friday, April 22, 2022 4:16:00 PM
Attachments: [RU-22-00002 East Peak Site Plan\(f\).pdf](#)

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Rachael,

I would like to add the following comments for the record in regard to the subject Reasonable Use Variance application:

1. In regard to the wetland buffer reduction that is being sought under reasonable use; considering that the Summit East (Hyak) ski area parking lot is within the specified buffer distance to the wetland I do not see why a similar offset would not be provided for Parcel B as is being sought the reasonable use application.
2. **17A.01.060, 2) Reasonable Use, a) Exception Request and Review Process;** states the following ".....In determining what is considered reasonable use of an undeveloped parcel, the Director may consider additional information such as zoning, and comparable structure sizes and land uses of the surrounding area."

The site plan submitted with the Reasonable Use application differs from the site plan in the approved PUD. The original site plan in the PUD indicates there would be a total of 8 lots with 7 lots assumed from the exhibit to be single family lots and a Multi-Family (Condominium) structure located at the south end of parcel B on lot 8. The site plan submitted with the Reasonable Use application now shows a multi-family structure at the north end of Parcel B and 7 townhome structures located between the Multi Family Structure and the wetland buffer variance sought in the Reasonable Use application. This is a change that affects the existing adjacent single family residences on two sides of Parcel B.

The director should consider zoning, comparable structure size and land use of the surrounding neighborhood in regard to the site plan submitted with the Reasonable Use application. The site plan in the application would locate a large multi-family structure immediately adjacent to single family homes located on the north and west sides of Parcel B. The site plan should consider structure type including density of development in the same manner as Parcel B was originally proposed in the PUD. The density of development should increase to the south towards the Summit East Ski Area Base where several high density multi family buildings are proposed in the PUD. Therefore the Director should consider the following revisions to the site plan as submitted in this Reasonable Use application:

1. The Townhome structures should be located at the north end of Parcel.
2. The Multi-Family structure should be located between the townhomes and

the wetland buffer sought under this Reasonable Use application.

This configuration of the site plan would allow density of development to increase to the south towards the Summit East Ski Area base transitioning from Single Family to Attached Townhome then to Multi Family which will be located adjacent to the existing Sundance Condominiums multi-family structure.

Intensity of use in regard to the location of the multi family structure next to the existing wetland should not be considered in this case. The wetland is already of low value having received years of snow mixed with gravel from snow removal operations at the adjacent Ski Area parking lot and the wetland and stream are already immediately adjacent to the Sundance Condominium multi family structure. I do not see how intensity of use would be any different with regard the wetland and for multi-family condominium located next to the wetland as compared to a townhome located next to the wetland.

Attached with my comments for the record is a mark-up of the Parcel B site plan depicting the reconfiguration of Parcel B proposed in these comments. Please included the site plan markup with my comments for the record.

Thank you,
Jim Sammet, PE
Hyak Estates Resident
1180 Snoqualmie Dr & Lot 113 Chamonix Place
Snoqualmie Pass, WA 98068

Sent from [Outlook](#)

EXHIBIT A - PROPOSED SITE PLAN

Single Family Homes (Existing)

Single Family Homes (Hyak Estates)

New Townhome

New Multi Family Condominium

MULTI-FAMILY RESIDENTIAL BUILDING

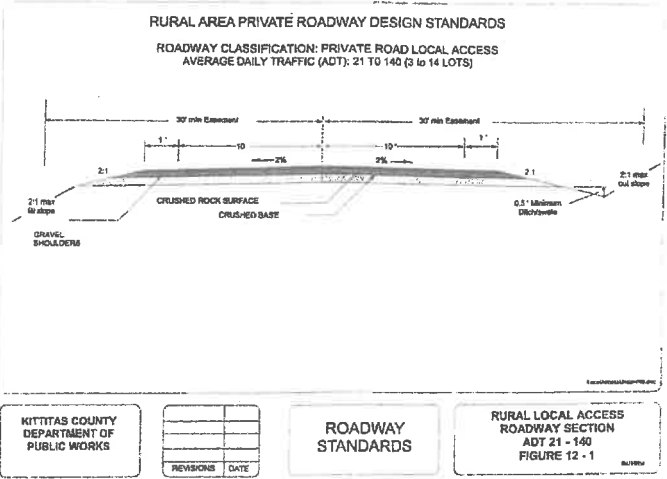
Existing Sundance Condominium

To Summit East (Hyak) Ski Area Base.

Density of development increases towards the base are with the Sundance and Suncrest Condominiums and Condo buildings proposed in PUD



SCALE: 1" = 40'
CONTOUR INTERVAL = 2'



REVISIONS		
NO.	DESCRIPTION/DATE	BY

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CONSULTING ENGINEERS, LLC
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Professional Engineer
No. 000000000
Exp. 12/31/2024
Land Surveying
Project Management
Land Planning
Landscape Architecture

RELEVANT PLANNING & DEVELOPMENT, LLC

HYAK PUD PARCEL B

PRELIMINARY SITE PLAN

KITITAS COUNTY WASHINGTON

JOB NO.:	2238-001-021
DWG. NAME:	EN-01
DESIGNED BY:	LSB
DRAWN BY:	QPF
CHECKED BY:	
DATE:	03/16/2022
DATE OF PRINT:	
EN-01	
1 OF 1 SHEETS	